

An architectural rendering of a modern commercial building, the Westfield Hurstville ELP Development. The building features a mix of materials including dark glass, light-colored wood paneling, and brickwork. It has a prominent green wall on the upper floors and a large glass facade on the ground floor. The building is surrounded by trees and a clear sky.

URBIS

WESTFIELD HURSTVILLE ELP DEVELOPMENT

URBAN DESIGN REPORT

PREPARED FOR
SCENTRE GROUP
MAY 2021

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INTRODUCTION

BACKGROUND

Westfield Hurstville is a regional shopping centre located at the heart of Hurstville Strategic Centre. Westfield Hurstville originally opened in October 1978 and was considered a unique design due to its system of continuous internal ramps which allowed people to traverse the entire centre without needing to use escalators or lifts.

Expansion of the centre was undertaken in 1990 across Park Road to The Avenue site and included the opening of the Cinemas. Further internal refurbishment in 2015 included the creation of a rooftop alfresco dining precinct and refurbished cinemas.

PURPOSE OF THIS REPORT

This Urban Design Report has been prepared by Urbis on behalf of the Applicant, Scentre Group Ltd, in support of the Development Application (DA) for alterations and additions to the existing Entertainment and Leisure Precinct (ELP) at Westfield Hurstville Shopping Centre.

This includes:

- Demolition of the existing ELP, cooling towers and various building services, minor demolition works along the northern façade at Park Road.
- Expanding the existing ELP through the creation of a rooftop garden, laneway style food halls, destination restaurants, recreational facilities and additional entertainment and leisure-based activities for the community.

The purpose of this report is to consider the existing and emerging context of the proposal and understand the benefits and impact of the proposed changes on this context.

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DESCRIPTION OF PROPOSAL

This DA proposes alterations and additions to enhance the existing ELP offering of Westfield Hurstville. This application specifically relates to the central portion of the rooftop, above the intersection of Cross Street and Park Road (refer to *Figure 5 Extent of Existing & Proposed ELP*). The proposed development is split over levels 3, 4 and 5 (new level) and comprises:

- Demolition of part of the existing ELP and associated roof plant;
- Minor demolition works to stairs along northern façade (level 3) and conversion of retail façade to glazing;
- Removal of 69 car spaces;
- Construction and associated use of a new ELP split over levels 3, 4 and 5 (new level) comprising:
 - Level 3 & 4 – recreation facility;
 - Level 4 – food and drink premise (eat street);
 - Level 5 – food and drink premise (destination restaurant / anchor tenant); and
 - Level 5 – community green space to be used for a variety of leisure based activities.
- Relocation of cooling towers and plant;
- New lifts, services and storage areas (including new street-facing lobby and lift core along Park Road);
- Modifications to the existing pedestrian access-way along the northern boundary adjoining the childcare centre;
- Upgrades to the existing childcare centre, including replacement of fence and awning and construction of a new entry portal;
- Façade upgrades to Cross Street, between Park Road and Humphreys Lane, including provision for public art;

- Site landscaping including construction of a new rooftop garden, alfresco dining area and integrated planters; and
- New building and business identification signage zones.

The following set of architectural plans prepared by Scentre Group illustrate the development details on each floor. These are accompanied by an outline of the works and uses for each level.

The changes to the existing development as they relate to planning parameters are summarised in *Table 1 Proposed Development Summary* below:

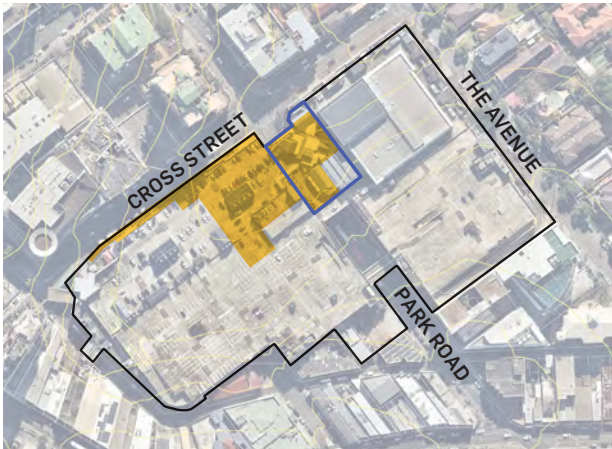


Figure 1 Extent of Existing & Proposed ELP

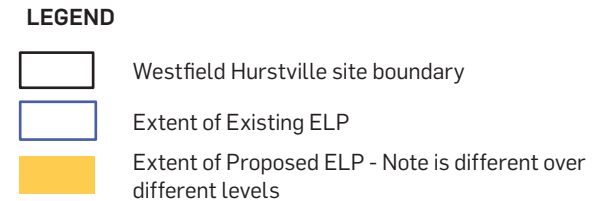


Table 1 Proposed Development Summary

	HLEP 1994 DEVELOPMENT CONTROLS	HLEP 2012 DEVELOPMENT CONTROLS	EXISTING BUILDING	PROPOSED DA
Land Zoning	3(b) City Centre	Deferred Matter	N/A	No Change
Floor Space Ratio (FSR)	2:1		2.38:1	2.46:1
Maximum Height of Building (HOB)	19m		31.61m / RL87.35	31.27m / RL87.27

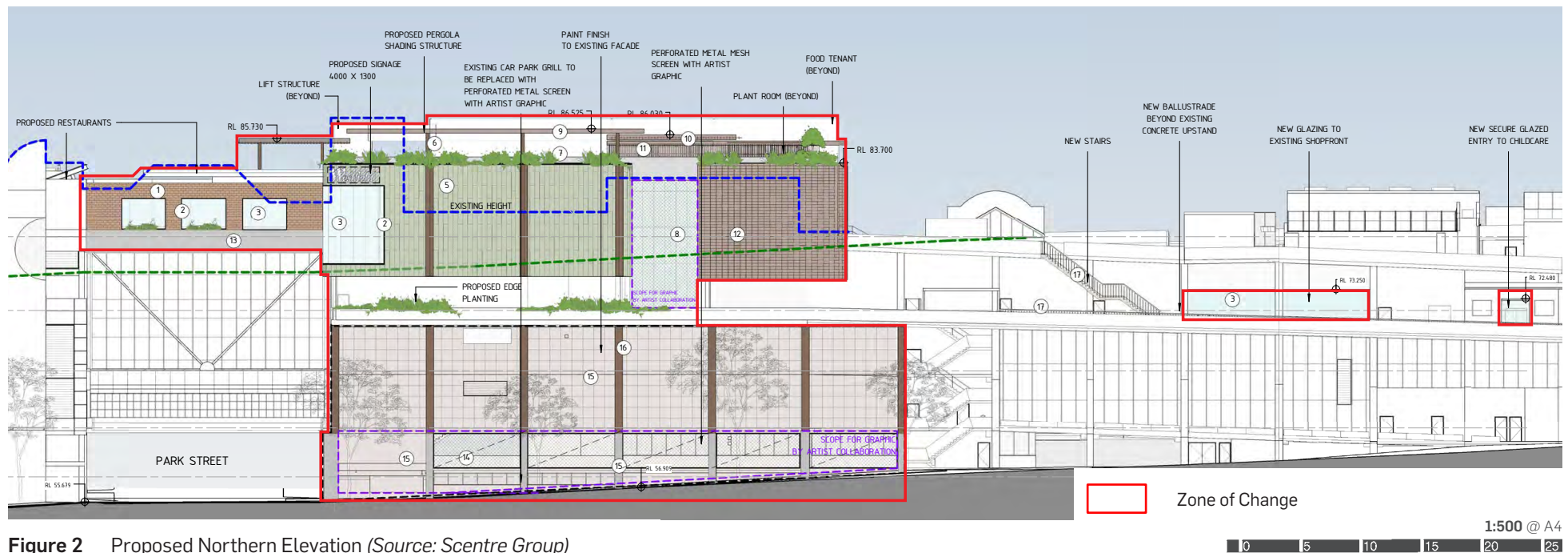


Figure 2 Proposed Northern Elevation (Source: Scentre Group)

LEVEL 3

- Upgrade existing stairs and pedestrian accessway at the corner of Cross Street/Crofts Avenue including lighting, signage, new paving and new balustrade;
- Install new glazed shopfront to façade of north-facing retail tenancies adjoining the pedestrian accessway;
- Upgrades to the existing childcare centre, including replacement of fence and awning and construction of a new entry portal;
- Construction of new stairs from Level 3 to Level 4;
- New landscaped planter along northern façade; and,
- Change of use of Tenancy 1/460/62 from retail to the lower level of the proposed recreation facility.

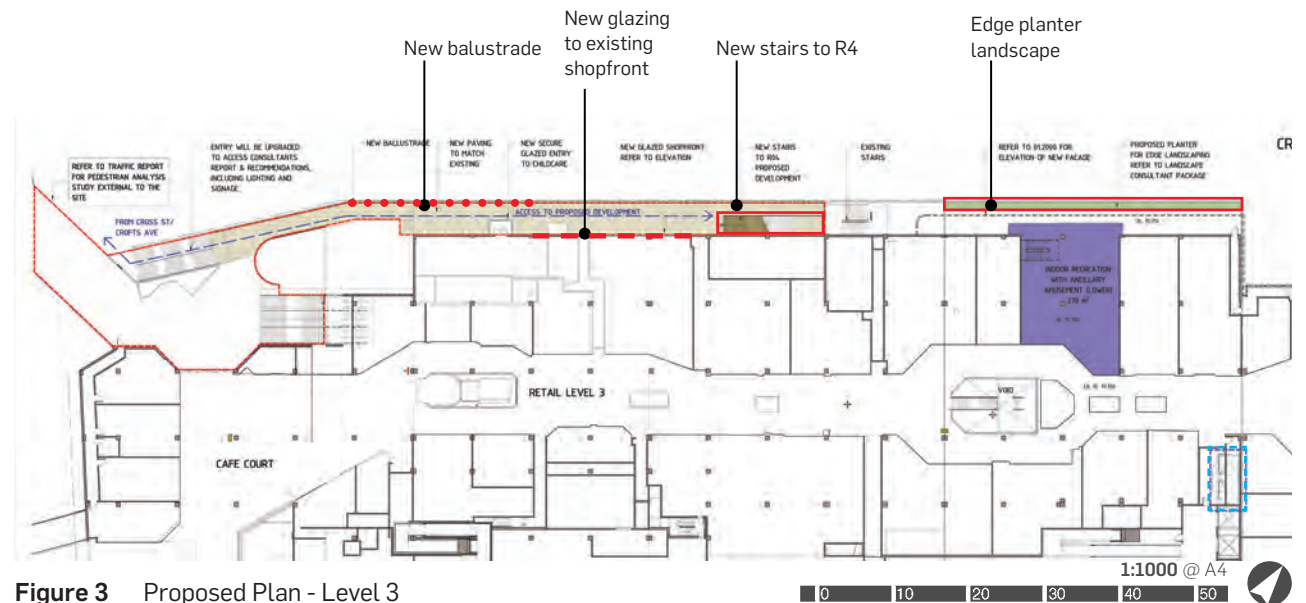


Figure 3 Proposed Plan - Level 3

LEGEND

- Key features of this DA
- Works not part of this DA
- Amenities
- Entertainment
- Landscape Area
- Malls
- Plant / Services
- Restaurant
- Storage
- Vertical Transport

- 14 restaurants/food and beverage tenancies including one anchor restaurant (RO5) and a pavilion;
- Recreation facility;
- Replace existing skylight;
- New amenities;
- New lift access
- New plantrooms; and,
- New storerooms



- Upper level of restaurant R05;
- New community green space, kids play area and community room; and
- Open pedestrian bridge providing equitable access between the lift core and the community green space.



EXISTING CONTEXT

Hurstville Local Environment Plan 2012 (HLEP 2012) provides the current development controls for Hurstville City Centre. In the HLEP 2012, Westfield Hurstville is identified as a Deferred Matter. Therefore for the subject site, the 1994 LEP controls are applicable - meaning these controls are in the order of 27 years old.

The following summary provides an overview of the HLEP 2012 controls for the surrounding land as well as the HLEP 1994 controls for the Westfield Hurstville site.

Additionally, a number of existing buildings and recently approved planning proposals exceed both the height and / or FSR controls contained within the HLEP 2012. These are presented on the following pages.

EXISTING PLANNING CONTROLS

HLEP 2012

The site is identified as a deferred matter from the Hurstville Local Environmental Plan 2012 and therefore is subject to the HLEP 1994.

HLEP 1994

Pursuant to the HLEP 1994, the site is zoned 3(b) City Centre Business.

The proposed uses are consistent with allowable uses under the HLEP 1994 and are an expansion of the existing ELP within the shopping centre.

There are no building height or FSR controls listed under the HLEP 1994 and is subject to assessment under the relevant provisions of the Development Control Plan.

HURSTVILLE DEVELOPMENT CONTROL PLAN 2012 (HDGP 2012):

The HDGP 2012 identifies the following outcomes for the Westfield Hurstville site:

- Maximum building height: 19m; and
- Maximum floor space ratio (FSR): 2:1.

EXISTING APPROVED CONTROLS

Height of building

- The existing shopping centre has variable building heights across the site being:
 - A maximum height of 35.7m (RL 91.7) measured to the top of the existing cinema complex.
 - The existing ELP is constructed to a maximum height of 27.65m (RL83.32), being that portion located above Park Street.
 - The existing stairs, lift core and plant, located to the south of Park Street, extend to a maximum height of 31.61m (RL87.35) and 25.62m (RL82.41), respectively.
- The proposed ELP consist of various building forms, with the highest point at 31.27m (RL87.27).

FSR

- The existing shopping centre has a total approved GFA of 77,280sqm (2.38:1) and exceeds the FSR control contained within the HDGP 2012 by 19.4%.
- The proposal seeks to increase the GFA by 2,374sqm (FSR 0.073:1 or 3%), equating to a total GFA of 79,654sqm (2.46:1).
- The proposed FSR is still significantly less than allowable and approved FSRs on adjoining sites.

KEY INSIGHTS

- The existing shopping centre FSR and building height already exceed the planning controls contained within the HDGP 2012.
- The increase in FSR and building height is consistent with the emerging character of the area which is seeing intensification of uses however remains significantly less than surrounding recent planning approvals.

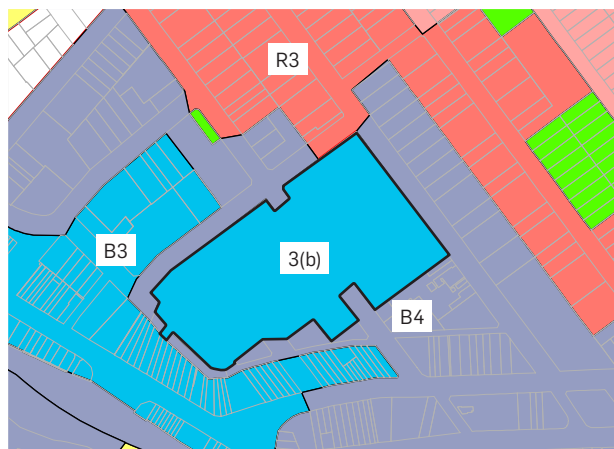


Figure 7 Existing Zoning under HLEP 2012 Planning Context and HLEP 1994 / HDCP 2012 for Westfield Hurstville Site

B3	Commercial Core
B4	Mixed Use
R3	Medium Density Residential
RE1	Public Recreation
RE2	Private Recreation
DM	Deferred Matter

Existing Maximum Building Height 35.7m

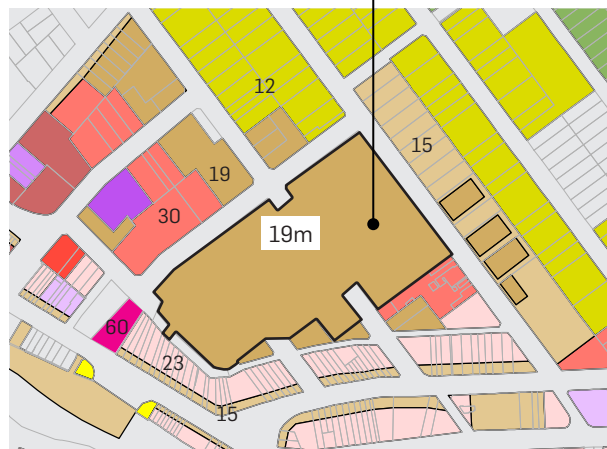


Figure 8 Maximum Height of Buildings under HLEP 2012 Planning Context and HLEP 1994 / HDCP 2012 for Westfield Hurstville Site

M	12m
O	15m
Q	19m
S	23m
U1	30m
W	40m
X	45m
Z	55m
AA1	60m

Existing FSR 2.38:1

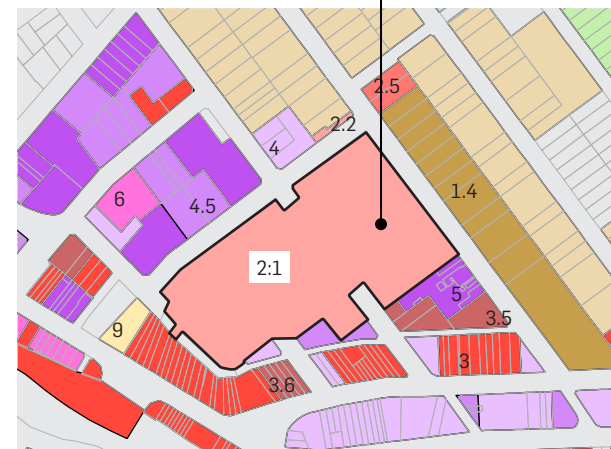


Figure 6 Maximum FSR under HLEP 2012 Planning Context and HLEP 1994 / HDCP 2012 for Westfield Hurstville Site

N	1:1
R	1.4:1
T	2:1
T2	2.2:1
U	2.5:1
V	3:1
W1	3.5:1
W2	3.6:1
X	4:1
Y	4.5:1
Z1	5:1
AD	9:1

RECENT PLANNING ACTIVITY

The immediate context of Westfield Shopping Centre area is undergoing a period of urban renewal. Recent developments includes:

1. The construction of Hurstville Central Plaza (constructed);
2. The 14 storey commercial tower at 282 Forest Road (constructed). This building 60m in height and sits at approximately RL124m.
3. The refurbishment and expansion of 9 storey Club Central at 6-8 Cross Street (under construction). This building is 39.35m and sits at approximately RL102m.
4. Additionally, the existing development on the north-western corner of Park Road and Cross Street is 19 storeys and 63m in height. It sits at approximately RL123m. This building is 44m taller than the maximum height identified in HLEP2012.



Figure 9 Existing and Potential Future Development (Source: Hurstville City Centre Urban Design Strategy)

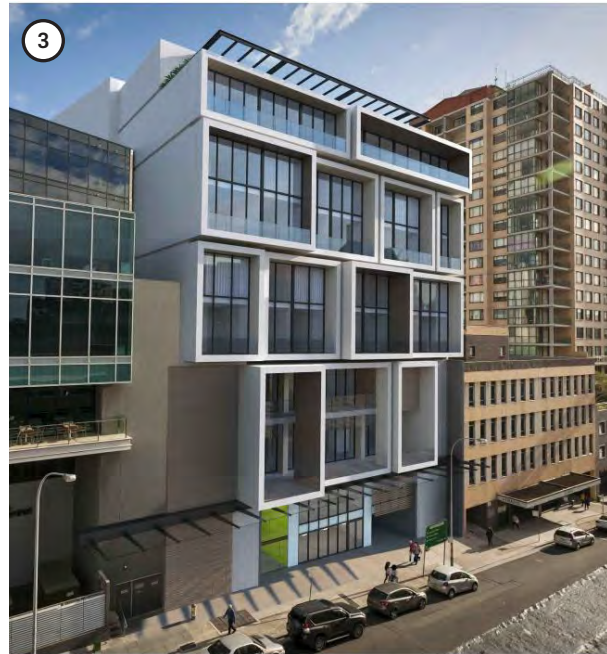


282 FOREST ROAD

Building Height: 60m / 14 storeys

Relative Height: RL124m

(Source: PTW Architects)

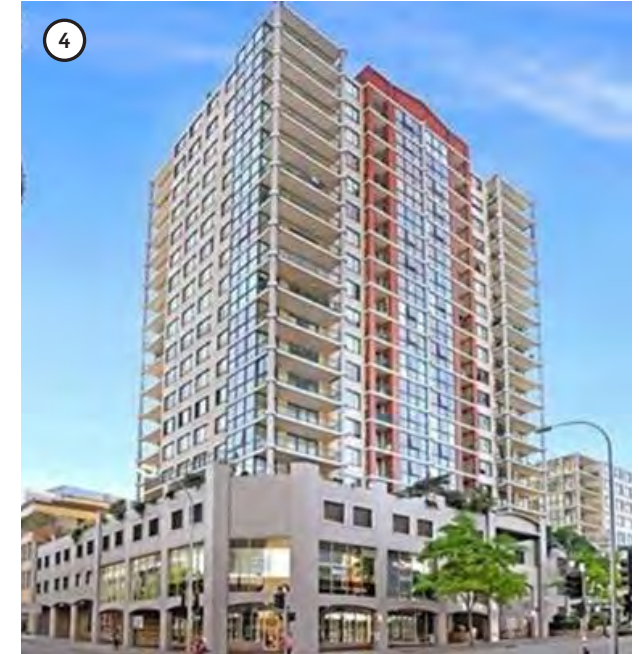


6-8 CROSS STREET

Building Height: 39.35m / 9 storeys

Relative Height: RL102m

(Source: Crawford Architects)



PARK PLAZA APARTMENTS - 25-35 PARK ROAD

Building Height: 63m / 19 storeys

Relative Height: RL123m

(Source: RealEstate.com.au)

URBAN CONTEXT ANALYSIS

The following section of the document presents the proposed ELP extension in the context of the surrounding context. It considers:

- Wayfinding & Pedestrian Connectivity, including
- Building Massing & Height
- Streetscape Analysis
- Materials & Finishes
- Elevation Strategy
- Visual Change
- Additional shadow

WAYFINDING & PEDESTRIAN CONNECTIVITY

The proposed alterations and additions to the ELP are predominantly located at the roof top level. Though no works are proposed within the public domain, improved access from street level to proposed ELP are considered to improve the existing streetscape and public domain and contribute to the revitalisation of Hurstville City Centre. This is outlined over the coming pages addressing:

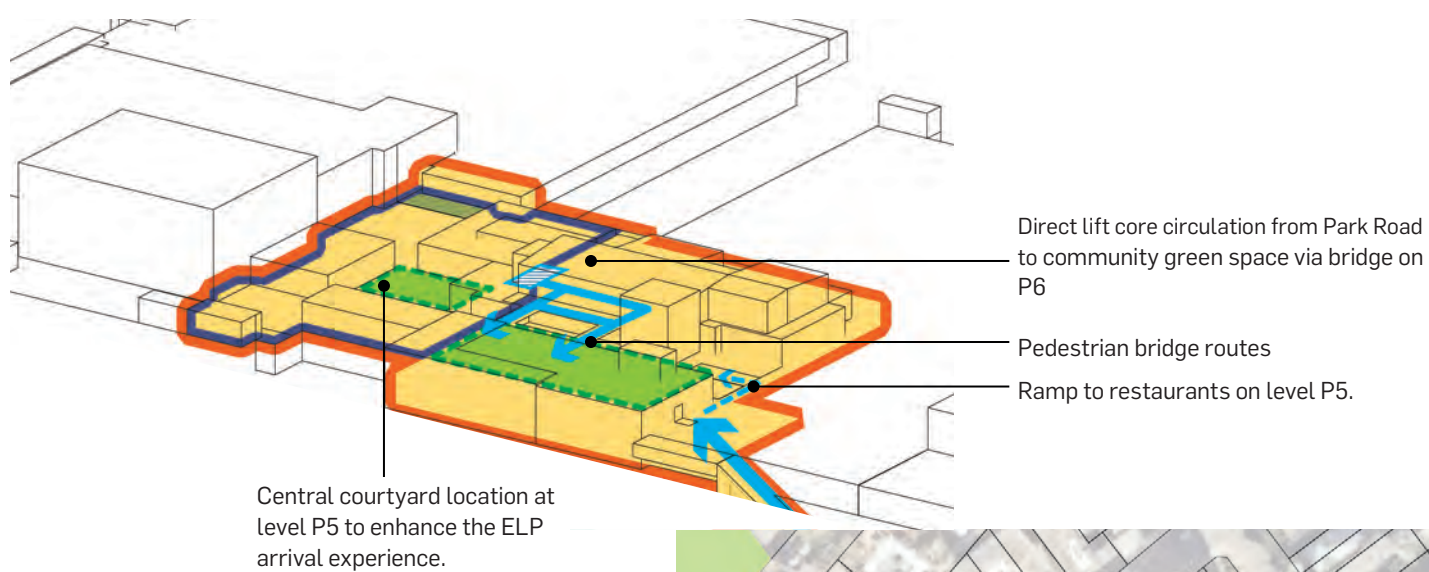
- Existing Public Domain Context;
- Wayfinding improvements from the Public Domain;
- Wayfinding improvements from within the Shopping Centre; and
- Wayfinding improvements from Car Parking.

CONNECTING TO AND ACCESS FROM THE PUBLIC DOMAIN

There are two main nearby transport hubs which most people use to get to the ELP. These include:

- Hurstville Train Station, through the public plaza on Crofts Avenue or through an arcade on Forest Road.
- Hurstville Bus Interchange, through Woodville Street and Crofts Avenue.

Both public transport hubs are within 250m (3 minutes) walking catchment to the ELP site.



- Westfield Hurstville site boundary
- Extent of Existing ELP
- Extent of Proposed ELP
- High Pedestrian Activity Zone
- Existing Public Domain
- Proposed Community Green Space
- Hurstville Plaza
- Proposed Rooftop Courtyard
- Direct Lift Core Circulation from Park Road to Proposed ELP
- Primary Pedestrian Routes to the ELP on Level P5
- Secondary Pedestrian Routes to the ELP through the shopping centre

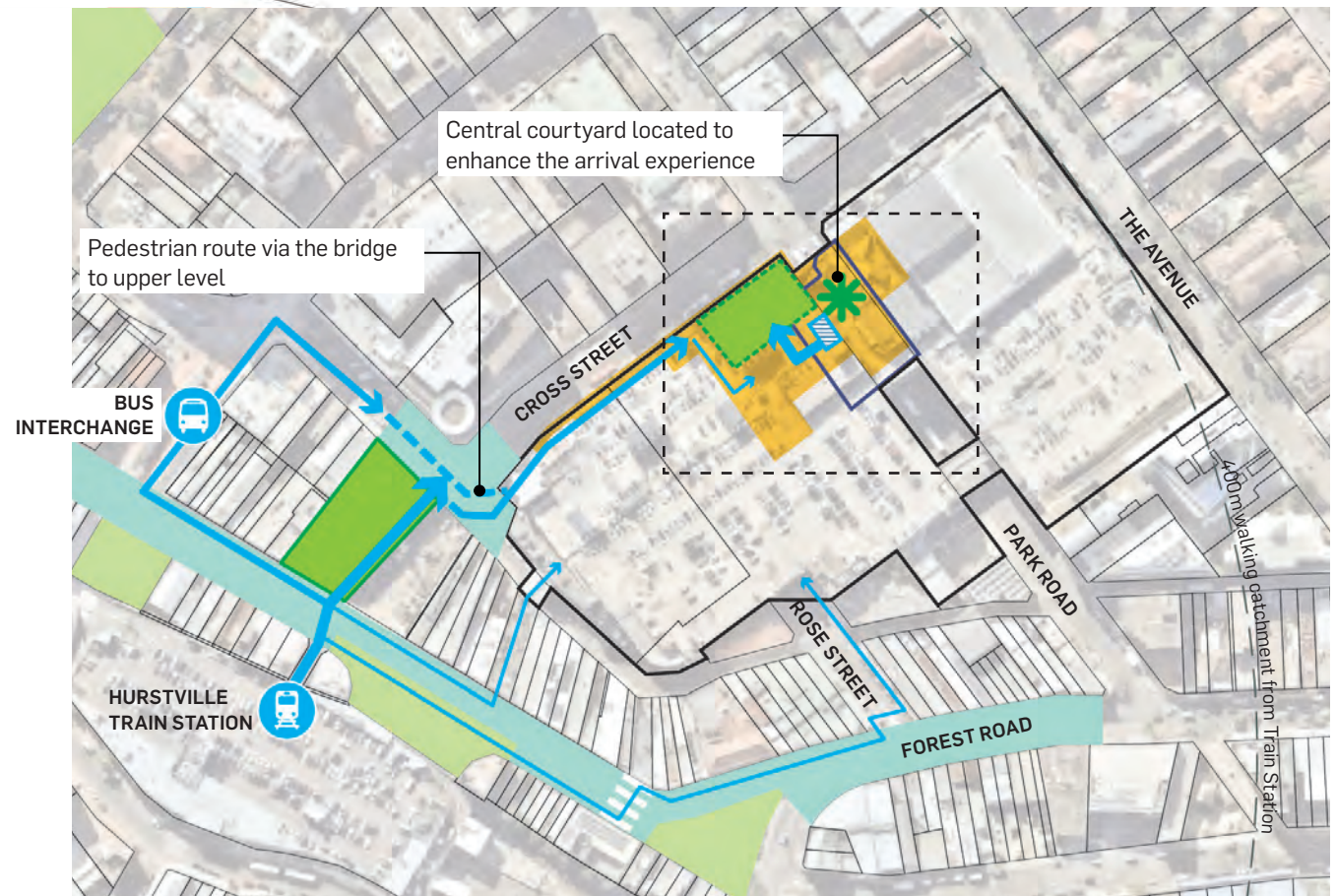


Figure 10 Public Domain Connectivity

WAYFINDING FROM THE PUBLIC DOMAIN

The following proposed alterations and additions are proposed to improve wayfinding from the public domain:

- A new accessway is proposed to the ELP via the existing pedestrian link along the northern boundary of the site, adjoining the childcare centre.
- An additional access point is also proposed via a new lift lobby on Park Road, providing customers of the ELP (particularly those who are mobility impaired) to travel directly to Level 4 and Level 5 from street level.

Additionally, as part of this development, Scentre Group will undertake façade improvement works including:

- Dedicating public art zones along the northern façade and eastern façade of Park Road, to be designed and developed in collaboration with council and a local artist.
- Repaint the existing façade, below the proposed 'work zones.'
- Providing landscaped planter boxes at the upper levels to reduce the harshness of the existing built form.
- Introducing a new lift lobby on Park Road and replacing the blank façade to the north-west facing retail tenancies with clear glazing.
- Introducing a prominent corner building on the corner of Park Road and Cross Street that will serve as an anchor and focal point for the ELP.

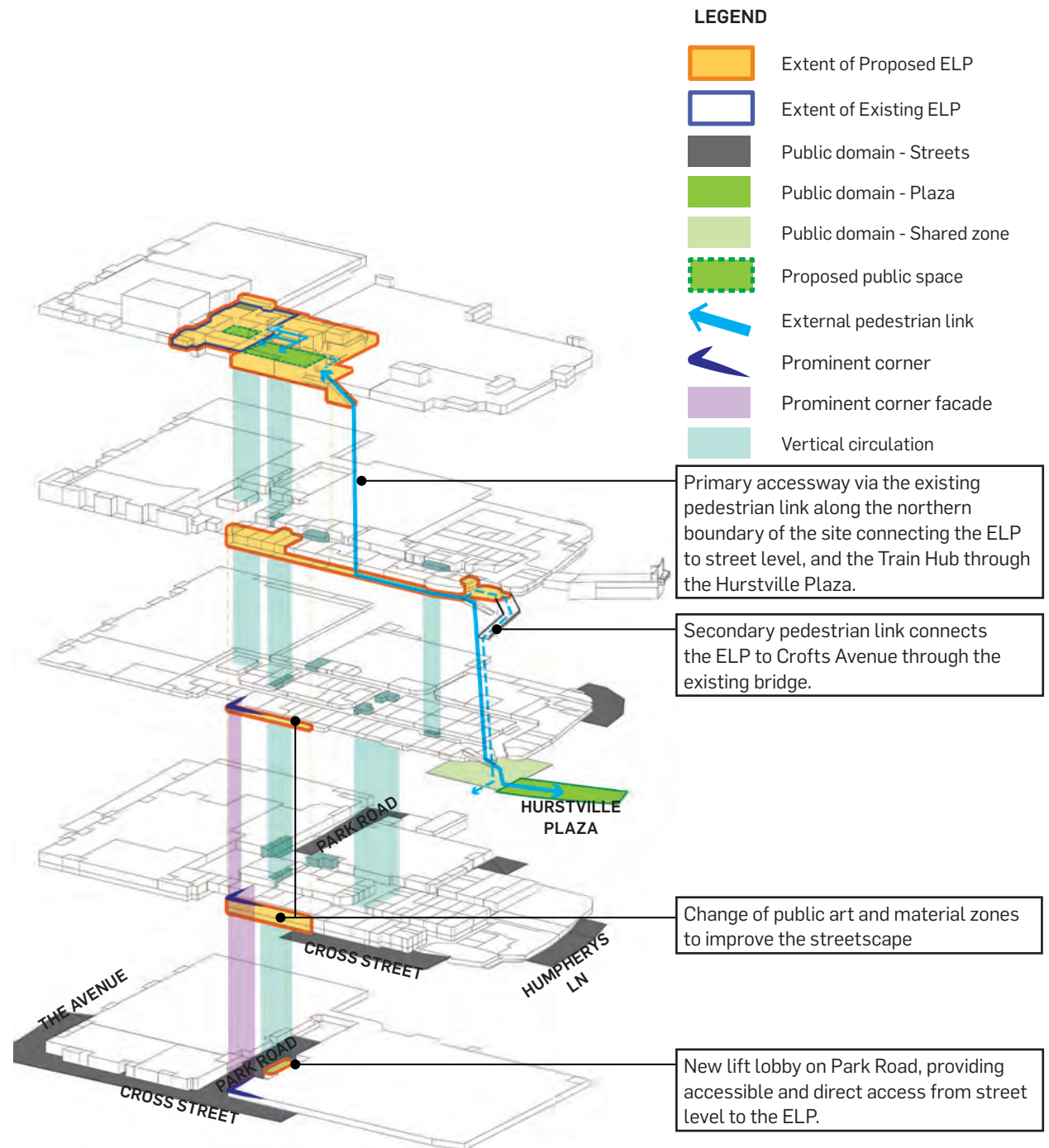


Figure 11 Wayfinding from the public domain

ARRIVING VIA PRIVATE VEHICLE

Access to the shopping centre by private vehicle has been designed in response to the one-way road network that surrounds the centre. This includes:

- Both The Avenue and Park Road are one-way streets running in opposite directions and act as key north-south bypass routes adjacent to the city centre connecting Queen Street to Forest Road.
- Cross Street operates as a two way street but is connected to Crofts Avenue and Humphreys Lane in the west which both operate as one way streets heading north.
- Humphreys Lane runs along the western boundary of the centre and operates as a service lane.
- Rose Street provides entry and exit to the shopping centre parking.
- Additional parking access is provided off from the following streets:
 - Park Road – direct access to Level 1, 2 and 3.
 - Cross Street – direct access to Level 2.
 - The Avenue – direct access to Level 1, 2 and 3.
 - Rose Street – direct access to Level 3, 4 and 5.
- Forest Road as the main spine within the city centre has high pedestrian activity and is identified as a slow speed street.



Figure 12 Movement analysis








WAYFINDING FROM THE CARPARK

Whilst there are a number of access points and internal ramps and overpasses that interconnect the various carparking levels and provide indirect vehicle access to the rooftop, there are two key locations providing convenient parking to the ELP being:

- Rose Street entrance - direct vehicle access to the proposed ELP is provided via two ramps lead directly to the P5 (blue) rooftop carparking level, leading to the proposed drop-off / pick-up zone and customer and employee parking areas.
- The Avenue southern entrance - direct vehicle entrance via the P3 entry on The Avenue along the eastern frontage.

Car park access will be maintained from the existing access points on Park Road, Cross Street, The Avenue and Rose Street. No changes to existing vehicular access are proposed.

LEGEND

-  Extent of Proposed ELP
-  Extent of Existing ELP
-  Parking
-  Vertical circulation
-  Existing parking entry / exit
-  Existing pedestrian entry from parking
-  Proposed pedestrian ramp from parking

P4-P6

R3-P3

R2

P2-R1

P0-P1

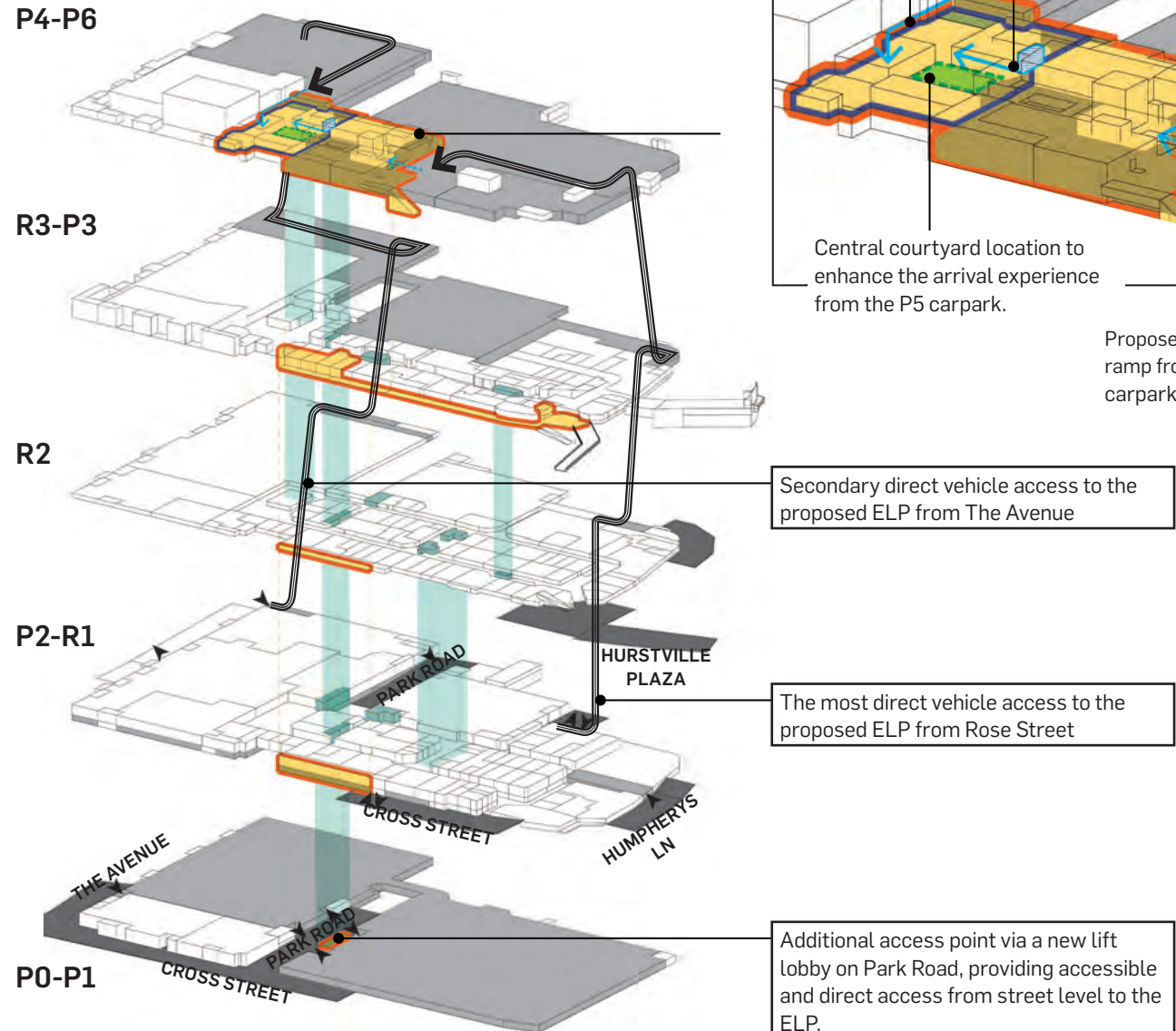
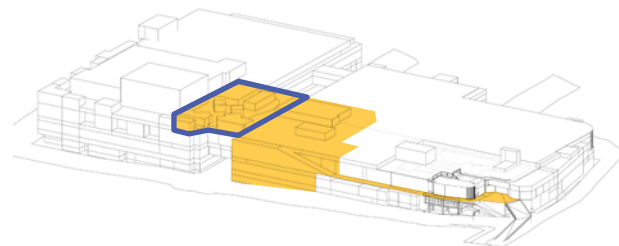


Figure 13 Wayfinding from the parking

WAYFINDING FROM WITHIN THE SHOPPING CENTRE

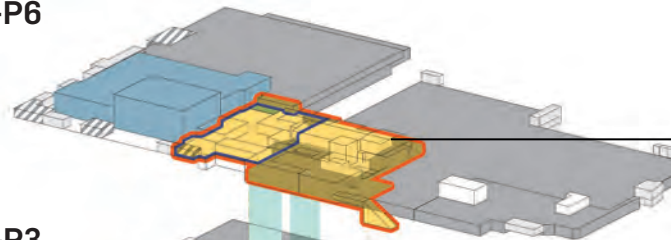
The proposed alterations and additions are predominantly located at the roof top level and external facade. There is no changes to existing internal circulation within the shopping centre using existing ramp mall and vertical circulations.



LEGEND

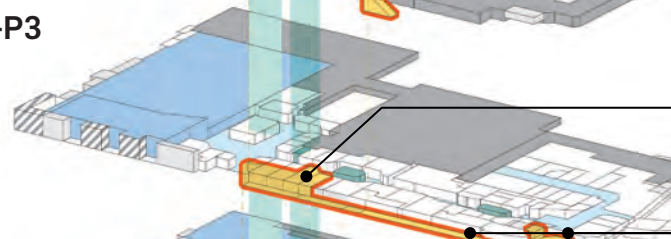
	Extent of Proposed ELP
	Extent of Existing ELP
	Major tenant long lease
	Parking
	Ramp mall
	Vertical circulation
	Utilities and services frontage

P4-P6



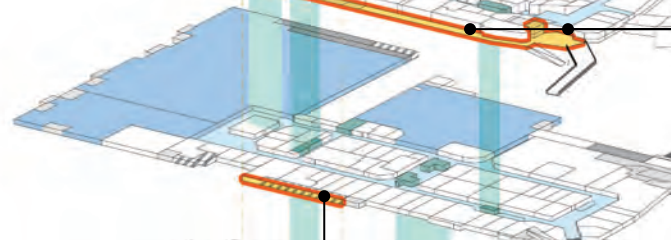
Rooftop ELP over 2 levels incorporates food and beverage retail, new community green space, kids play and community room.

R3-P3



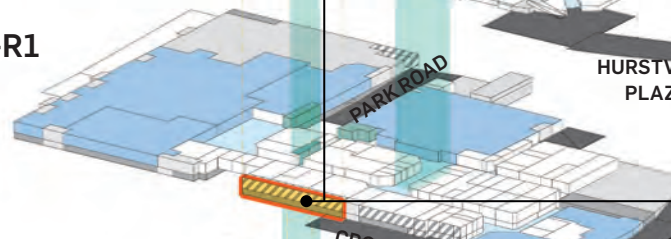
- Proposed planter for edge landscaping
- Change of use of Tenancy

R2



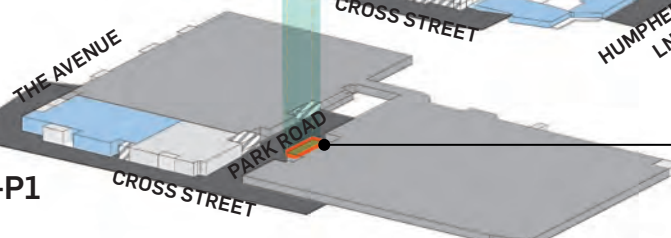
- Entry upgrade
- New stairs & balustrade
- New glazing to existing shopfront
- New secure glazed entry to childcare

P2-R1



Paint finish to existing facade

P0-P1



Additional access point via a new lift lobby on Park Road, providing accessible and direct access from street level to the ELP.

Figure 14 Wayfinding from existing shopping centre

BUILDING MASSING & HEIGHT

This plan illustrates the relative height of existing buildings and recent developments, including consideration of their topographical location. The analysis identifies at the immediate surrounding context:

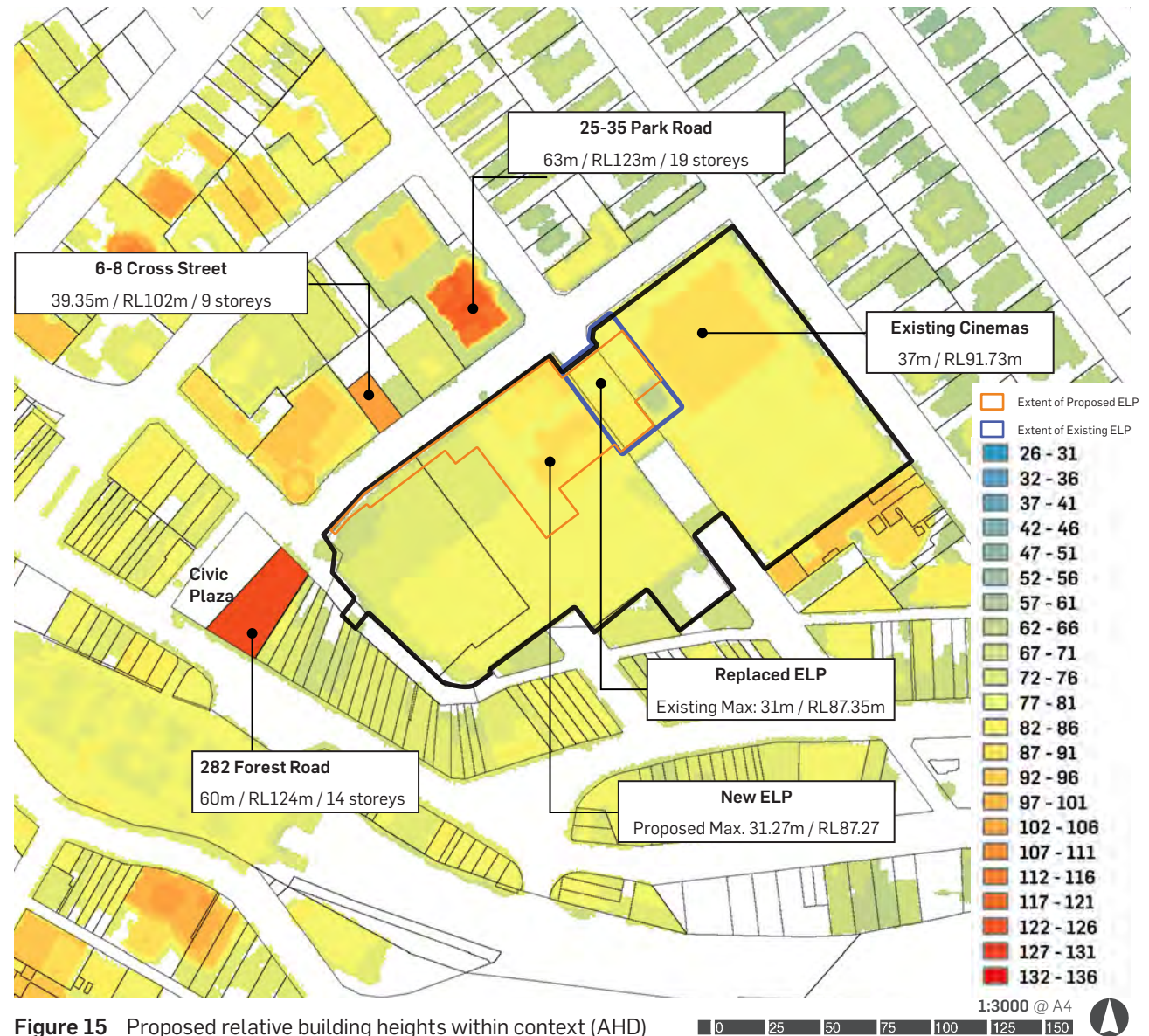
- There are a number of tower form buildings over 100m along Cross Street.
- One of the tallest forms is located immediately opposite the Westfield Hurstville site at the corner of Cross Street and Park Road. This building is 44m taller than the maximum height identified in LEP.

The proposed building height change is minor in the context of both the existing Westfield Hurstville building and the surrounding context as follows:

- Existing ELP being replaced:
 - Existing:
 - Proposed:
- New / expanded ELP:
 - Existing:
 - Proposed:
- The proposed streetwall height along Cross Street is RL83.7m. This remains below the street wall heights of buildings on the northern side of Cross Street.

KEY INSIGHTS

- There are a number of existing buildings and recent planning approvals which exceed the maximum height of building controls specified in the HLEP 2012.



BUILDING MASSING

A simplified 3D massing comparison diagram show the height changes before and after the proposal. Most of the building height changes are contained behind the street frontage. The main change experienced on the street level is the change from 26.1m to 27.4m.

Existing ELP
Existing Max: 31m / RL87.35m
Streetwall: 26.1m / RL82.415m

New ELP
Proposed Max. 31.27m / RL87.27
Streetwall: 27.4m / RL83.7m

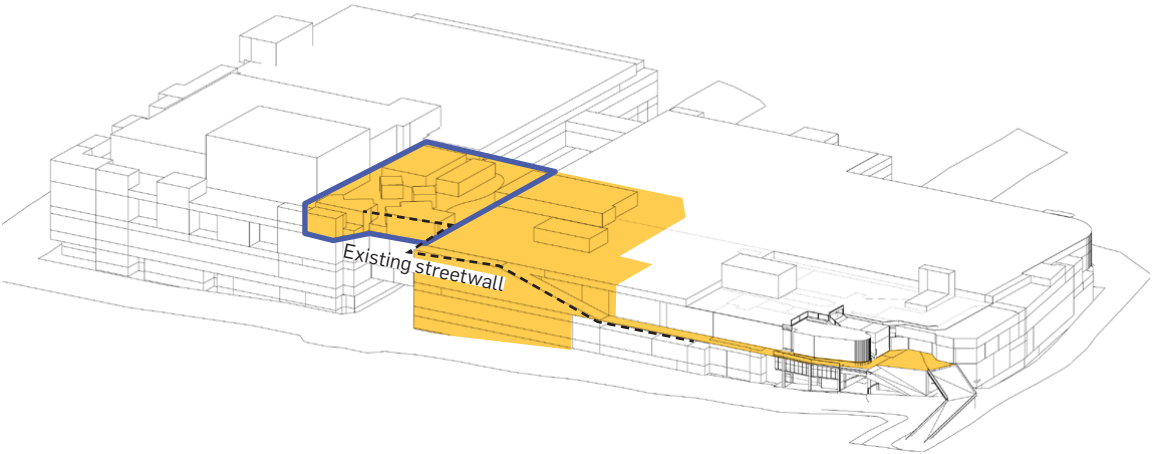


Figure 17 Existing Development Scale and Height

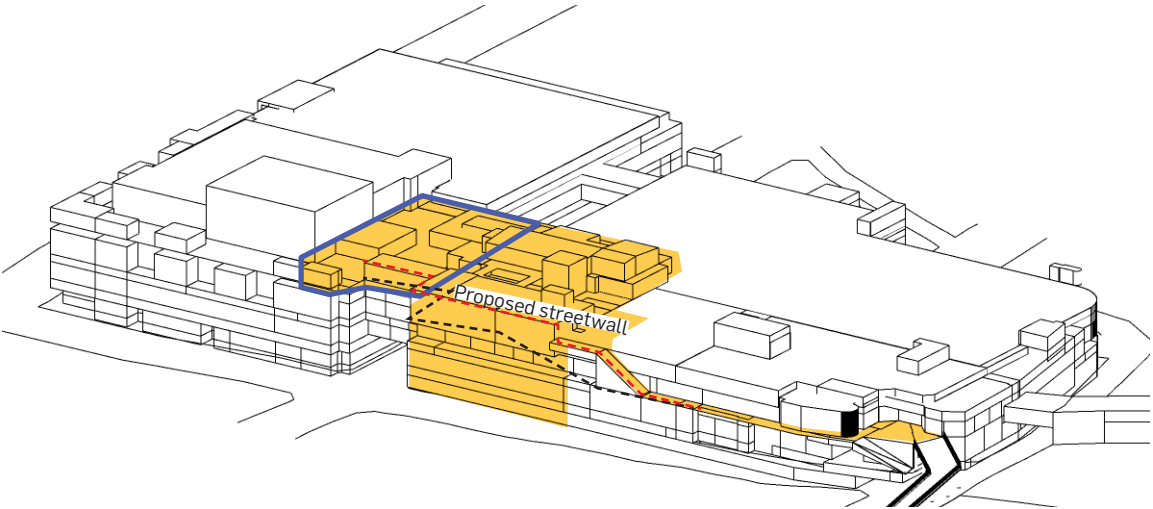


Figure 16 Proposed Development Scale and Height

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STREETSCAPE ANALYSIS

APPROACH

A streetscape analysis was undertaken for the immediate context of the ELP DA to understand the existing streetscape character.

For the purposes of this ELP DA, the extent of the contextually relevant streetscape has been defined in *Figure 18 Streetscape Context Plan* being:

- Cross Street from Humphreys Lane / Crofts Avenue in the west to The Avenue in the east;
 - a. Northern Side - mixed-use streetwall
 - b. Southern Side - Westfield (retail) streetwall
- Park Road from Cross Street in the north extending under the link bridge of the Westfield Hurstville Shopping Centre.
 - c. Park Road East
 - d. Park Road West

For each streetscape, the buildings are assessed against three key aspects being:

- **Massing**
 - The scale, height and built form character;
 - Front setback treatment;
 - Typical roof scape and forms of roofs;
- **Articulation**
 - Character of spaces between buildings including vehicular and pedestrian entries;
- **Materials**
 - Architectural character and dominant materials/finishes;
 - Architectural style and composition;
 - Landscape character.

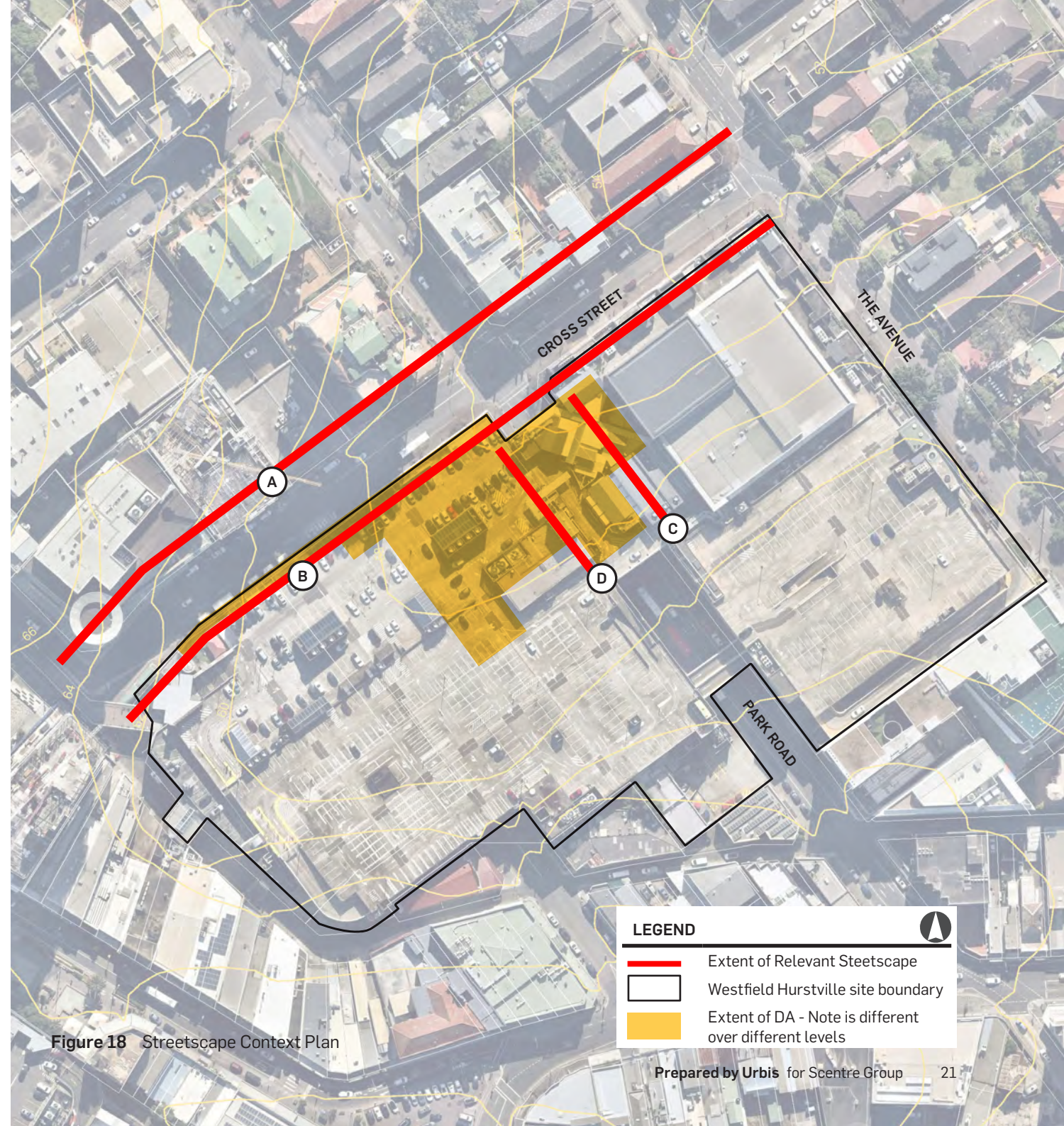


Figure 18 Streetscape Context Plan

LEGEND	
	Extent of Relevant Streetscape
	Westfield Hurstville site boundary
	Extent of DA - Note is different over different levels

CROSS STREET NORTHERN SIDE - MIXED-USE STREETWALL

The northern side of Cross Street comprises of a number of mixed-use buildings. A new development is currently under construction as an expansion of Club Central Hurstville at 6-8 Cross Street.

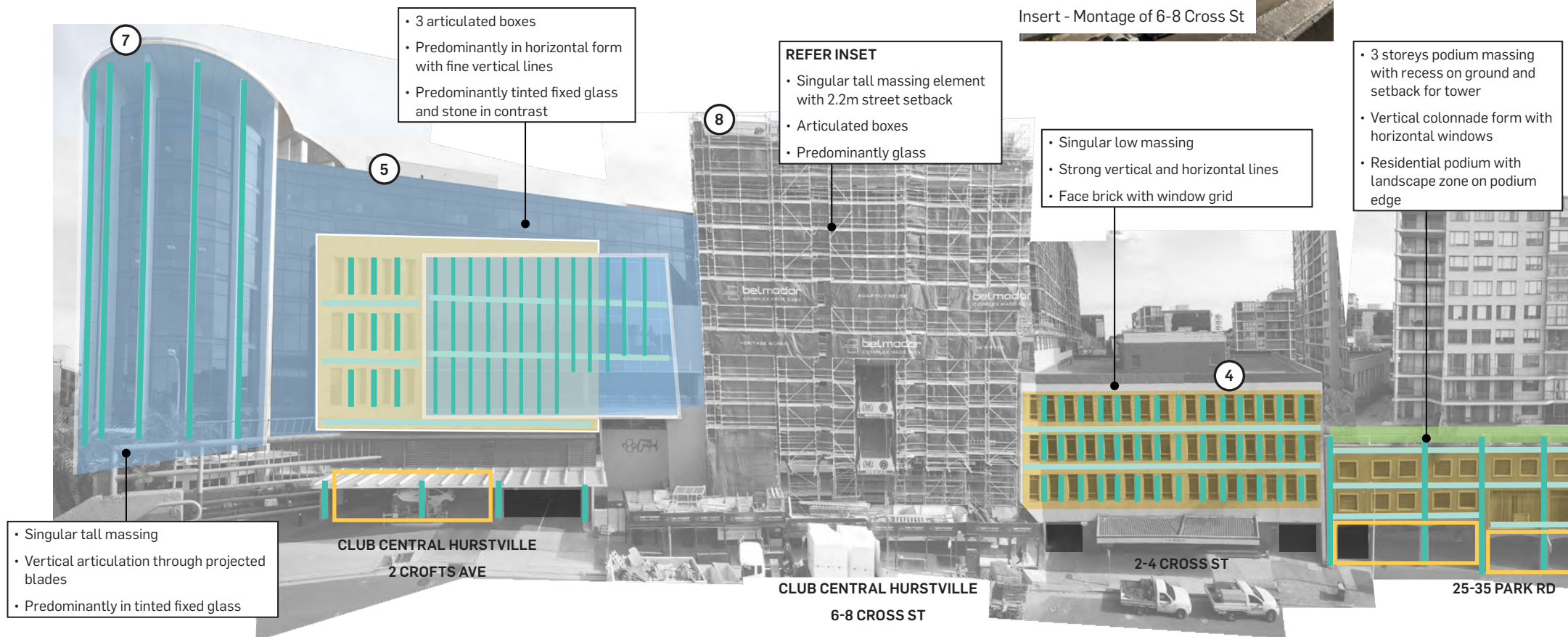


Figure 19 Existing Cross Street - Neighbourhood

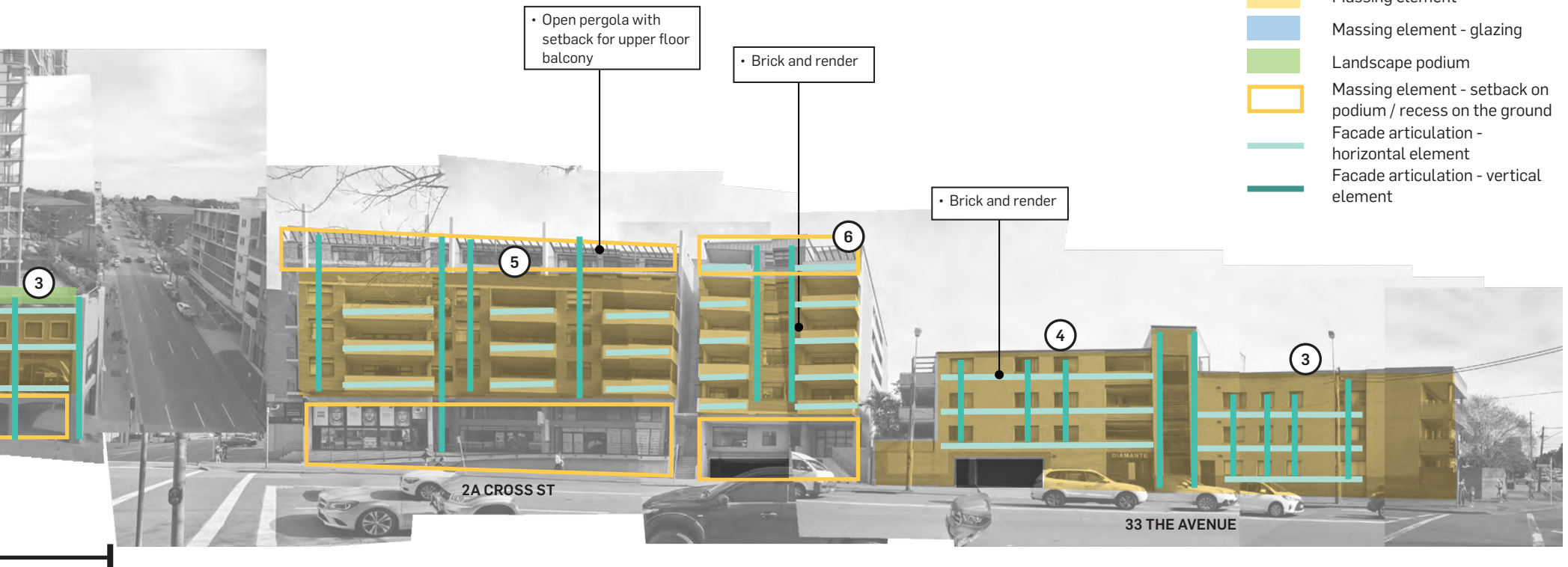
Prevailing characteristics

- The existing streetwall is built to boundary and ranges in height from 3-7 storeys. The heights step down from the western end both in terms of storeys and also in terms of relative height with the falling topography of the street.
- The expansion of Club Central Hurstville will create the tallest streetwall height along the street at 8 storeys.
- Most buildings connect with the street at a single level.
- Active frontage at the ground floor is limited to commercial space with glazing. There is no footpath activation or occupation.
- There are a number of vehicle crossovers, driveways, garage door entry's etc. along the length of the street.
- There is clear demarcation of the ground level vs. the upper levels of the streetwall through the use of awnings, colonnades and glazing as well as setbacks and driveway openings.
- Windows in the streetwall are simple geometric forms and are featured as repetitive elements.
- Most of the buildings are singular facade massing with a combination of strong horizontal and vertical elements providing articulation.
- The newest building (Club Central Hurstville) is defined by a series of boxed elements with contrasting textures including glazing and stone.
- The upper levels of buildings are setback in all forms including streetwall, tower and geometric boxes.



LEGEND

- # Streetwall height (storeys)
- Vehicular access gates - unchangeable area
- Massing element
- Massing element - glazing
- Landscape podium
- Massing element - setback on podium / recess on the ground
- Facade articulation - horizontal element
- Facade articulation - vertical element



CROSS STREET SOUTHERN SIDE - WESTFIELD (RETAIL) STREETWALL

The southern side of Cross Street comprises entirely of the Westfield Hurstville Shopping Centre. The proposed area of change for the ELP is predominately located within the existing ELP located on the rooftop over the link bridge and includes a small area of expansion.

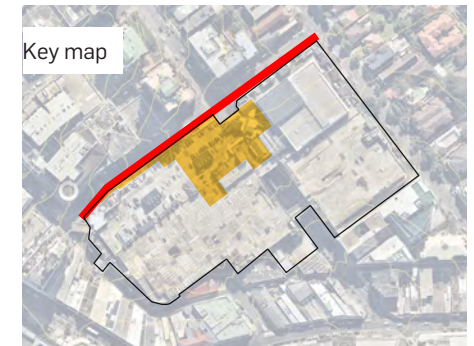


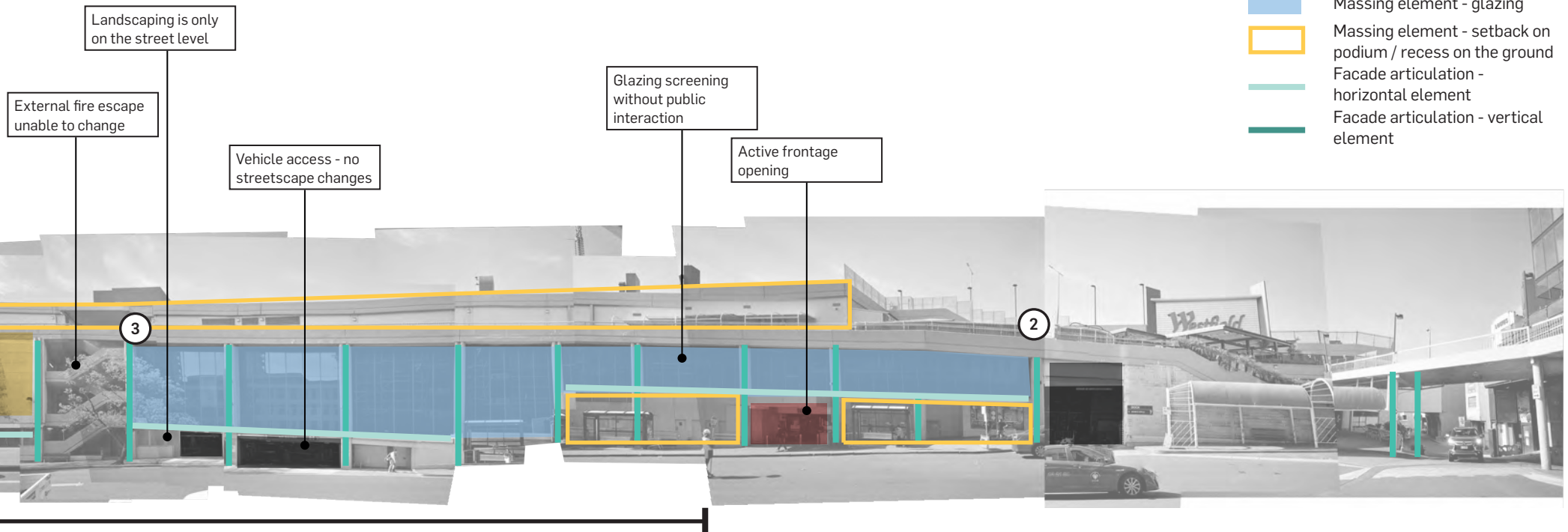
Figure 20 Existing Cross Street - Westfield

Prevailing characteristics

- A singular building massing which navigates a significant change in levels along the length of the streetscape resulting in a complex interface with the internal building levels.
- Investigation into existing uses, design and arrangement of the shopping centre reveal an internal focused design with significant plant, servicing, fire escape and parking facilities located adjacent to the streetscape.
- Existing streetwall is built to boundary and ranges in height from 2-5 retail storeys.
- There is limited activation at the ground level with some openings / entrances to the shopping centre.
- The facade comprises simple geometric forms and are featured as repetitive elements.
- The overall form of the building is dominated by the horizontal datum of the streetwall. Vertical elements in the glazing portion provide relief from this as does the exposed staircase.
- Existing materials comprise blank wall cladding and glazed areas.
- Upper levels are setback and articulated as a series of boxes.

LEGEND

- # Streetwall height (storeys)
- Vehicular access gates - unchangeable area
- Massing element
- Massing element - glazing
- Massing element - setback on podium / recess on the ground
- Facade articulation - horizontal element
- Facade articulation - vertical element



PARK ROAD EAST

The eastern side of Park Street comprises entirely of the Westfield Hurstville Shopping Centre. It comprises vehicular accesses in and out of the Westfield Hurstville Shopping Centre, plant and service areas all located under an building structure spanning over a road.

Prevailing characteristics

- The volume of the streetscape massing is defined by the overbuilding structure and is articulated as a single storey.
- The building navigates a single level along the length of the streetscape.
- Building uses behind the facade are dominated by carparking, building servicing and loading areas. This includes parking entrances.
- Blank wall and screening materials are the predominant materials with vertical elements providing articulation.

Key map



LEGEND

- Zone of observation
- Vehicular access driveway
- Transparent screening
- Massing element
- Massing element - void
- Facade articulation - vertical element

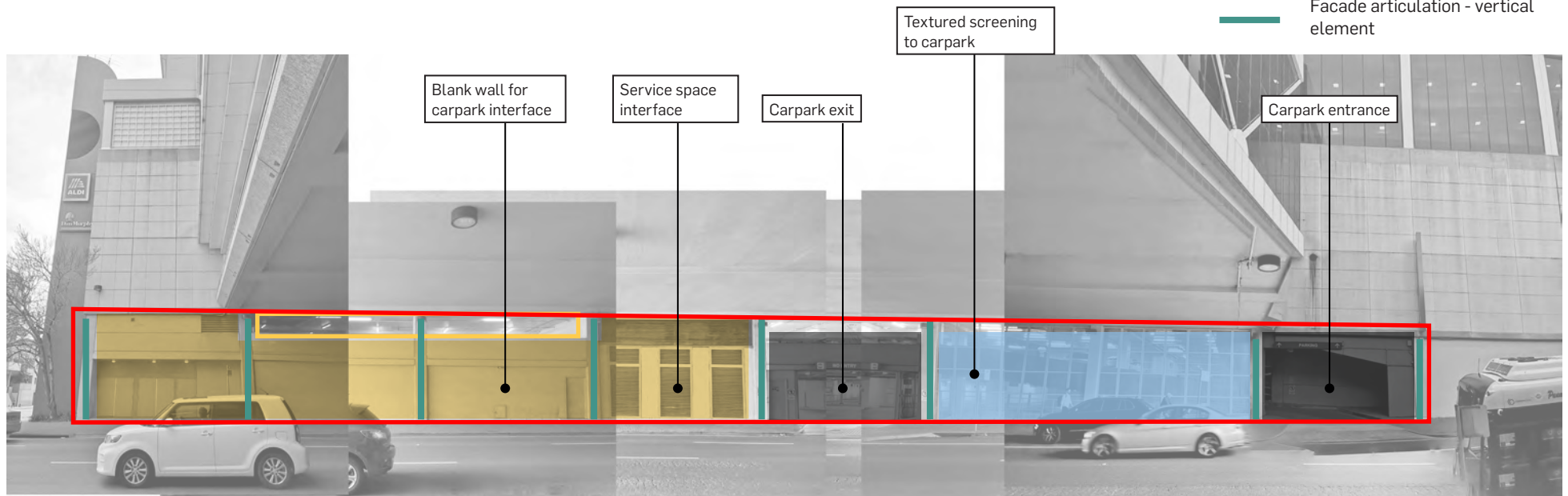


Figure 21 Park Road east panorama

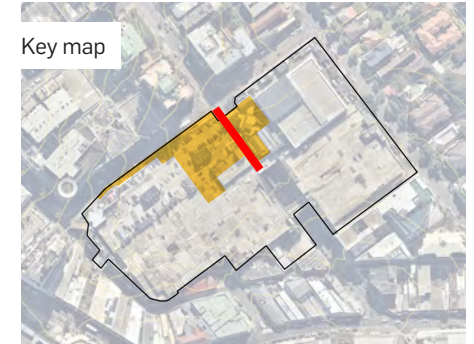
PARK ROAD WEST

The western side of Park Street comprises entirely of the Westfield Hurstville Shopping Centre. It comprises vehicular accesses in and out of the Westfield Hurstville Shopping Centre, plant and service areas all located under an building structure spanning over a road.

Prevailing characteristics

- The volume of the streetscape massing is defined by the overbuilding structure and is articulated as a single storey.
- The building navigates a single level along the length of the streetscape.
- Building uses behind the facade are dominated by carparking, building servicing and loading areas. This includes parking entrances.
- Blank wall and screening materials are the predominant materials with vertical elements providing articulation.
- A lift core located inside the carpark provides all abilities access to the retail levels. Pedestrian access from the street is only available via the vehicular carpark driveways.
- The highlight of the corner site is dominant with blank facade in single material besides the shopping signage.

Key map



LEGEND

- Zone of observation
- Vehicular access driveway
- Massing element
- Massing element - void
- Facade articulation - vertical element

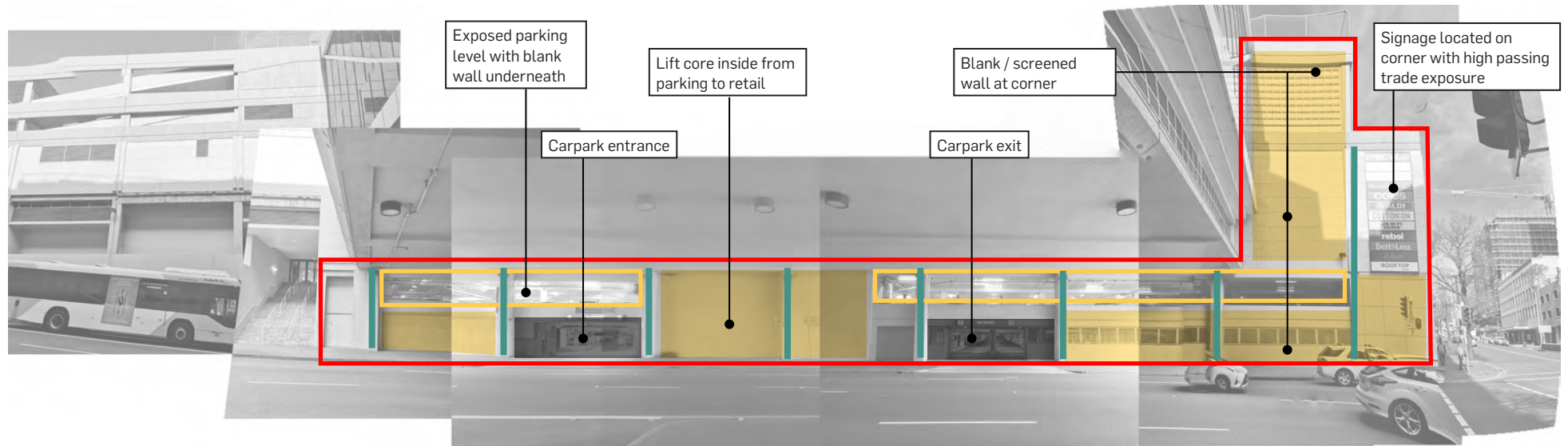


Figure 22 Park Road west panorama

MATERIALS & FINISHES

ARCHITECTURAL DESIGN STATEMENT

An Architectural Design statement has been prepared by Scentre Group to articulate the design intent of the proposed development. The following statement, in conjunction with the Streetscape Analysis Study, seeks to address the current issues in regard to the massing and appearance of the Westfield Hurstville, ELP Expansion proposal.

The design principles for the ELP is:

- **Artwork:** Integration of artwork into both the new and existing façades. Noting the constraints of the existing building design to activate the facade, our proposal outlines the areas we believe would benefit most from such works (being close to ground plane for better public engagement). The introduction of public artworks into the most prominent façades at street level is located at the corner of Cross Street and Park Road corner.
- **Introduce the element of light:** In response to the contribution of the ELP to the local night-time economy the introduction of the element of light has been identified as an opportunity. This has been focused on a central element being the glass stair. This critical element not only helps break down bulk and scale, but at night will glow from internal illumination, highlighting the movement of those ascending the stair behind within, and thus adding to the façades' activation.
- **Articulated boxes with horizontal and vertical articulation:** To respond to the articulated boxes, and the horizontal and vertical elements, that are prominent on both sides of Cross Street, the overall massing of the ELP is conceived as a series of articulated boxes. Vertical elements which align with the existing column features below. These add a new layer of texture to the façade, providing the desired integration, and a reduced sense of horizontality at the same time.
- **Landscaping:** Landscaping introduced into the existing rooftop and walkway, significantly increasing the “greening” of the façade. This, combined with cascading foliage proposed as part of the rooftop garden above, serves to break down the bulk and scale of the existing building, and provide natural movement and articulation to the façade.

Materials

The materiality strategy seeks to introduce a suite of new materials that contrast with the existing pre-cast facade to highlight the ELP upgrade as the first stage of a multi-stage development of the centre.

A schedule of proposed materials includes face brick, powder coated bronze colour metal blade framed windows, FC panels with expressed vertical joints, glazing insulated powder coated solid aluminium panels, timber-look columns, frosted/semi-opaque curtain wall glazing with frit pattern by artist, textured panel screening, painted concrete, perforated metal screening, metal balustrades and pre-cast mouldings. The colour palette is neutral comprising predominantly charcoal, bronze and timber tones.

The materiality comprises two main materials chosen specifically to provide texture and depth being:

- Textured panel screening; and
- The aluminium panels with tapered and straight profiles.

Due to its elevated position on a relatively narrow street, the façade will most typically be viewed from a distance and at acute angles. Introducing texture and depth to our external envelope will, through the use of light and shadow, provide variation in appearance throughout the course of the day.

Additionally, we are proposing the following upgrades to existing façades in the vicinity of the ELP proposal.

- **Paintwork:** In order to inject fresh life into the 60s era façade, we're proposing to paint not only those areas of the façade below the new proposal, but the adjacent return onto Park Road and under the link bridge as well.

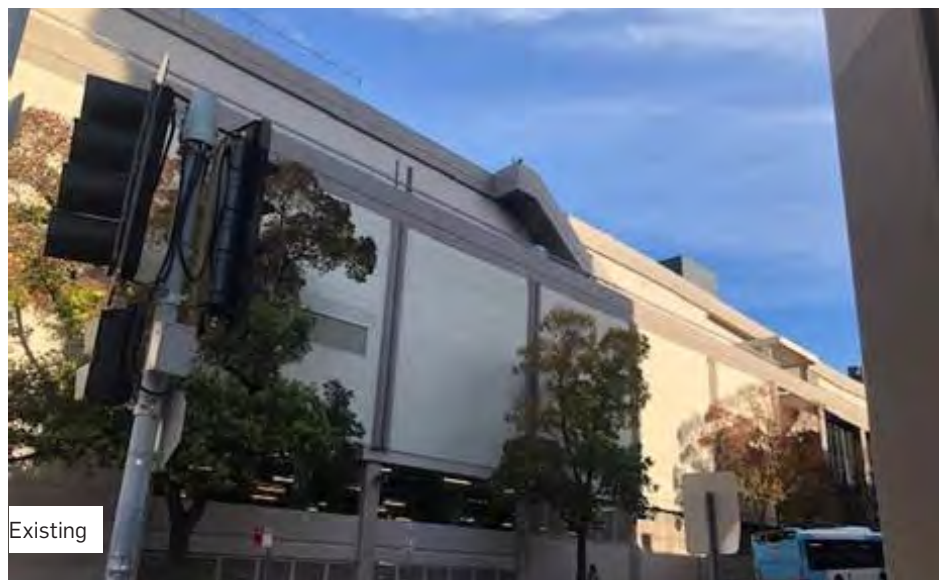


Figure 23 Existing and Proposed Streetscape comparison

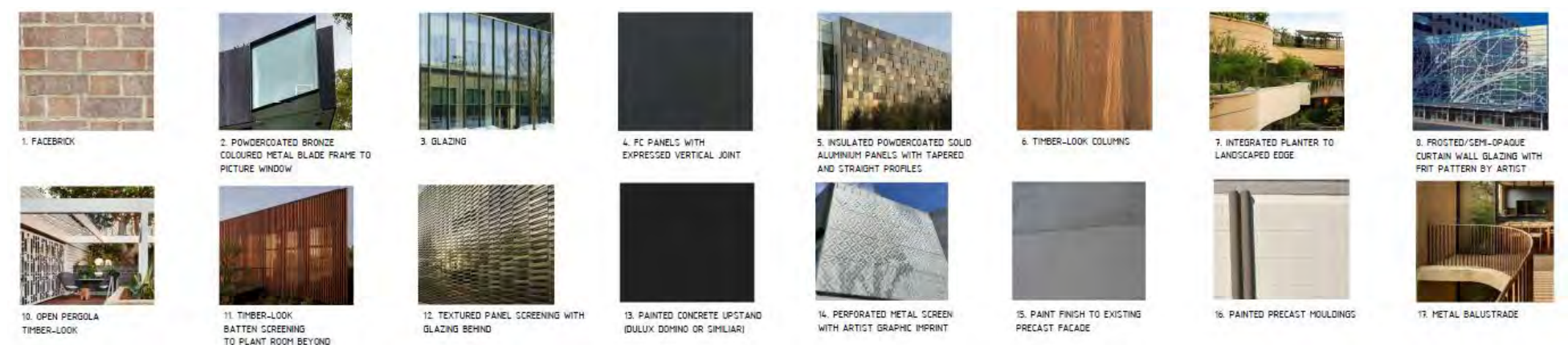


Figure 24 Schedule of Proposed Materials and Finishes

ELEVATION STRATEGY

To address the existing bulk, massing and appearance of the Westfield Shopping Centre, a series of key upgrades are proposed as follow:

- **Landscape edge:** Additional landscaping is introduced to the existing streetwall and cascading at upper level, soften the existing bulk scale of streetwall and improve streetscape from ground level to rooftop.
- **Extend column articulation rhythm:** A series of columns with glazing facade navigate multiple level change along the length of the streetscape, reducing horizontal visual impact of existing streetwall. This vertical element is emphasized and extend above the podium to the future rooftop, keeping the desired integration of the whole building, and reducing the

sense of horizontality by breaking down the bulk scale facade.

- **Artistic facade for better public engagement:** Two large areas on proximity space of both existing and new façades will be collaborated with local artists for public engagement. This provides passive interactive activities with pedestrians and variation in appearance from time to time.
- **Transform "blank facade" into active street edge:** As limitation of activation on ground level, a glazing area is introduced along the streetwall edge with provision of direct access from street to rooftop. This helps to break down the horizontal visual impact and activate the movement of facade.

- **Variation facade appearances but still integrated:** Though there are 4 types of materials applied to large elevation area, they form as large panels rather than creating fragments. The variation in texture highlights the proposed precinct and adding energy to the existing facade.

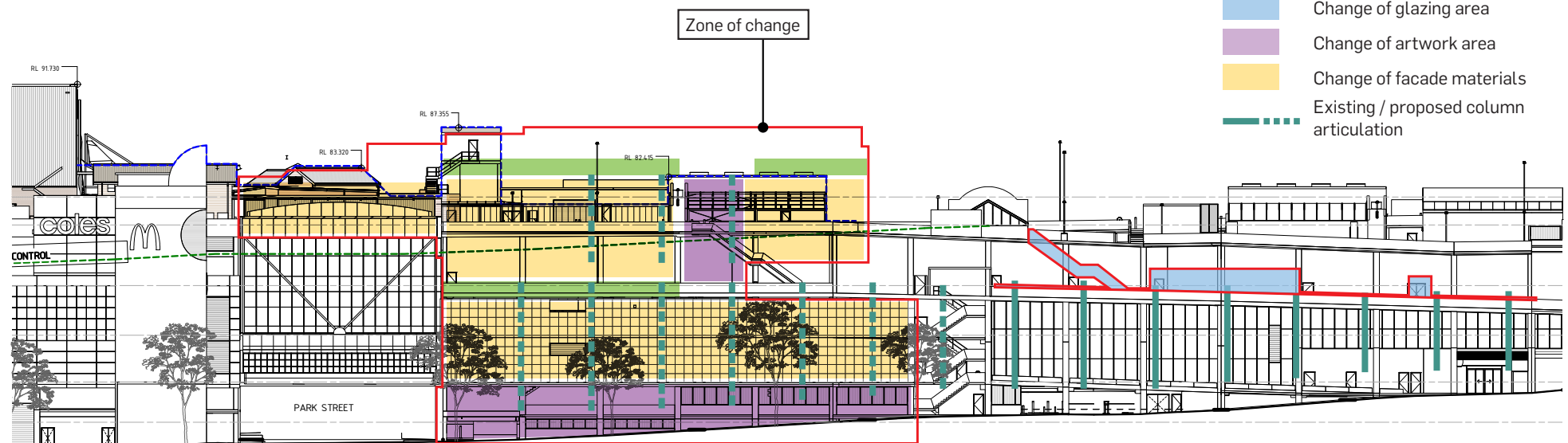


Figure 25 Key changes on existing elevation

PROPOSED ELEVATION - CROSS STREET

Key material elements proposed onto both existing and new facade are annotated in the diagram.

Similar material elements exist in surrounding buildings. The use of a variety of materials forming key massing elements breaks down the building bulk into a series of massing boxes. Texture within the materials provide depth and visual interest to the appearance while artwork areas will provide more dynamic visual activation along the street at ground level.

LEGEND

- Zone of change
- Change of landscape area
- Change of glazing area
- Change of artwork area
- Change of facade materials
- Existing / proposed column articulation

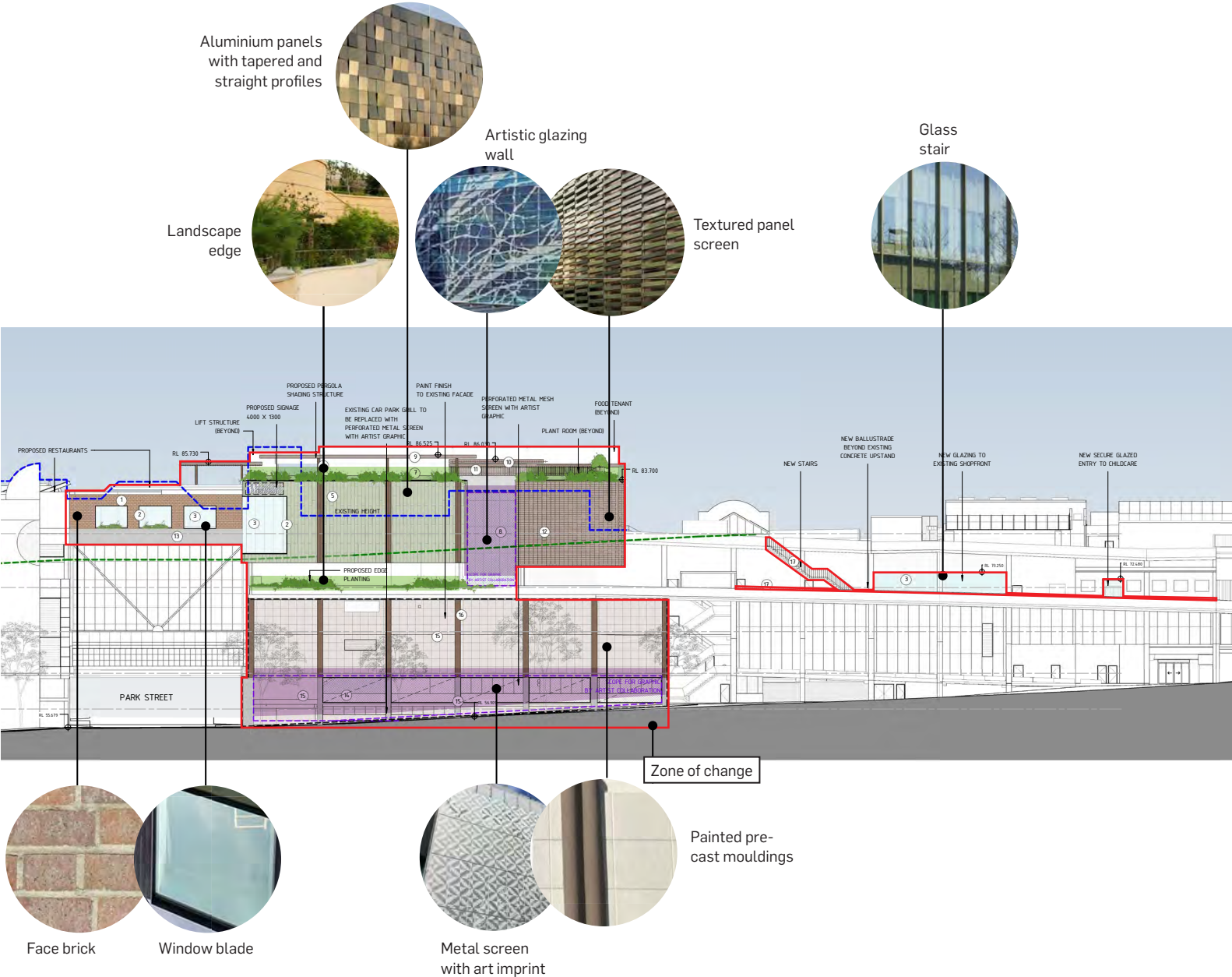


Figure 26 Proposed North Elevation

PROPOSED ELEVATION - PARK ROAD

The proposal will result in 4 key changes for Park Road streetscape:

- 1. Artistic screening:** Over the parking interface, increasing public engagement along the street.
- 2. Rotation of the lift core lobby opening:** Create safer access to vertical circulation off the street.
- 3. Upper level setback:** Provides articulation and additional edge for landscape on podium.
- 4. Materials:** Proposed aluminium panels with glazing blade wrapping the corner at upper level reflects the similar built form of Club Central Hurstville, provides the unique identity of the new rooftop dining precinct.

LEGEND

- Zone of change
- Change of landscape setback area
- Change of glazing area
- Change of artwork area
- Invisible changes to Park Road streetscape

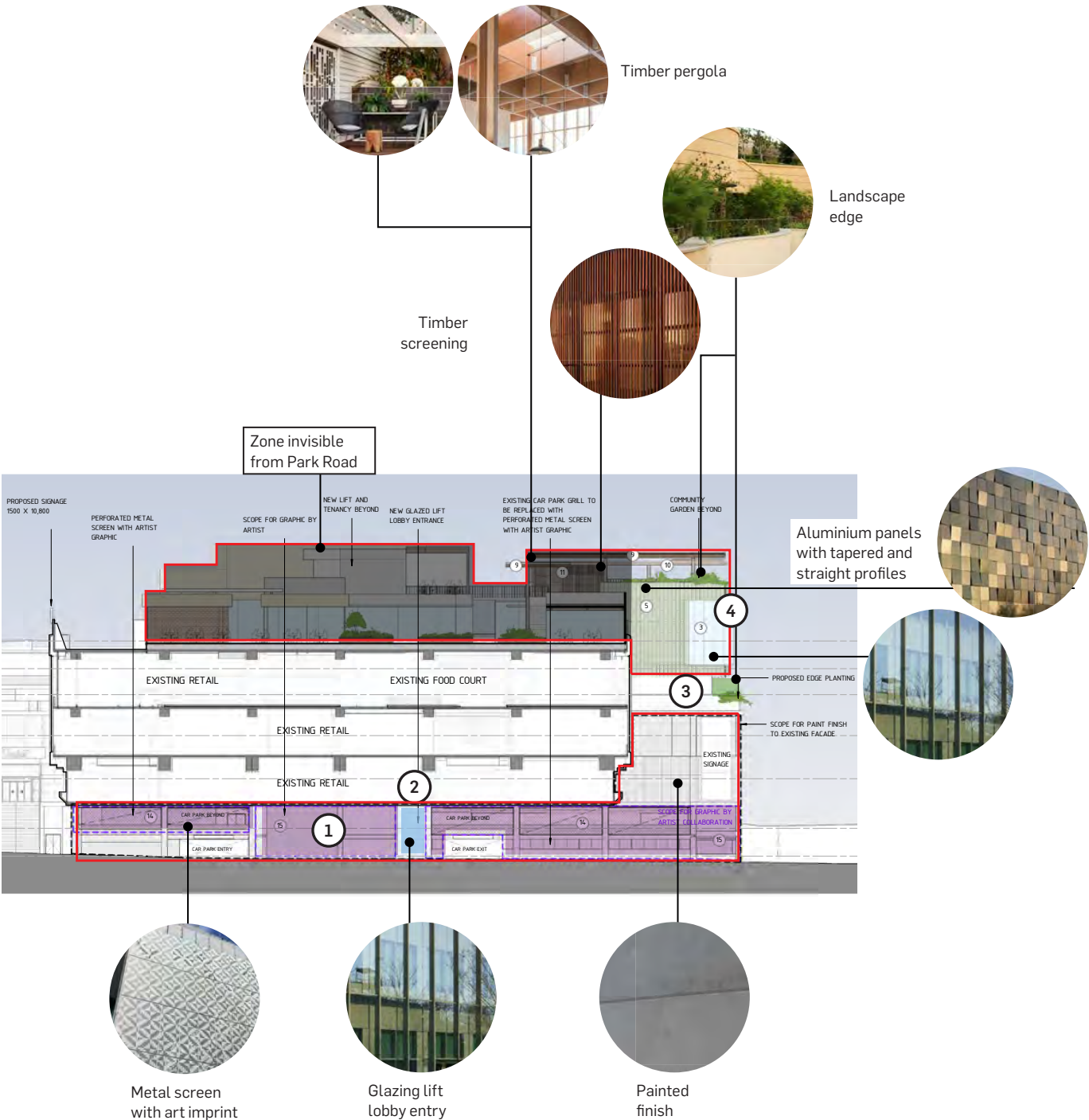


Figure 27 Park Road Facing West Section

1:600 @ A4
0 5 10 15 20 25 30

SUMMARY OF STREETSCAPE ANALYSIS AND PROPOSED CHANGES

The existing street characteristics along Cross Street and Park Road have its own distinctive and common features as well. A summary overview of contributing and detracting elements is provided below achievements and adverse impacts is listed as table below:

Table 2 Existing streetscape analysis summary table

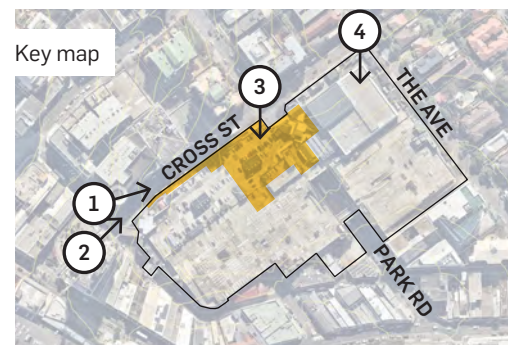
	CONTRIBUTING ELEMENTS	DETRACTING ELEMENTS	PROPOSED RESPONSE IN DA
Massing	<p>The streetwall heights are varied along the neighbourhood side providing both variation and consistency through form, massing and materials.</p> <p>Smaller boxes of massing elements break down scale and provide depth and material changes.</p>	<p>The existing shopping centre is a singular building massing navigating a consistent podium datum, resulting a horizontal and singular massing.</p>	<ul style="list-style-type: none"> Articulated boxes with horizontal and vertical articulation: To respond to the articulated boxes, and the horizontal and vertical elements, that are prominent on both sides of Cross Street, the overall massing of the ELP is conceived as a series of articulated boxes. Vertical elements which align with the existing column features below. These add a new layer of texture to the façade, providing the desired integration, and a reduced sense of horizontality at the same time.
Street activation & landscape		<p>Both streets have limited active frontage and landscape elements due to number of vehicle crossovers, driveways, garage door entry's and service / fire escape design along the length of the street.</p>	<ul style="list-style-type: none"> Introducing the element of light through the central glass stair as a nod to the contribution of the ELP to the local night-time economy. This critical element not only helps break down bulk and scale, but at night will glow from internal illumination, highlighting the movement of those ascending the stair behind within, and thus adding to the façades' activation. Identifying significant areas of blank facade at ground level for public art installations in the areas where people will interact the most. Landscaping introduced into the existing rooftop and walkway, significantly increasing the "greening" of the façade.
Articulation and Materiality	<p>Strong repetitive horizontal and vertical elements are commonly applied through the uses of simple geometric forms in materials, articulations, colonnades and window openings.</p>	<p>Large swathes of singular materials with no articulation.</p>	<ul style="list-style-type: none"> Responding to the emerging facade strategy of the Club Hurstville which adopts a series of articulated boxes as massing elements. Use of textured materials to create visual interest. The materiality strategy seeks to introduce a suite of new materials that contrast with the existing pre-cast facade to highlight the ELP upgrade as the first stage of a multi-stage development of the centre.

VISUAL CHANGE

EXISTING VS. PROPOSED

The proposed alterations and additions are considered to visually enhance the streetscape presentation of the site when viewed from Cross Street and surrounding streets. Four locations have been assessed by Scentre Group for a view change study considering potential impacts from surrounding sites and public domain areas:

1. Views from the pedestrian bridge;
2. Views from the Hurstville Plaza;
3. Street views along the northern footpath of Cross Street; and
4. Street views along the eastern footpath of Park Road and at the junction of Park Road and Woodville Street.



EXISTING



PROPOSED

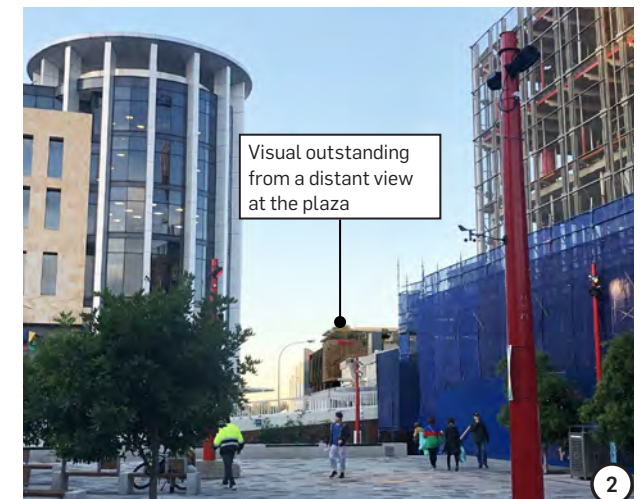


Figure 28 Visual Analysis

EXISTING



PROPOSED



Replace with a perforated metal screen and artist graphic to improve the streetscape presentation



Break down the perception of bulk and scale and enhance the visual appearance of the ELP

KEY INSIGHTS

- The proposed rooftop expansion will improve the visual character of the site when viewed from a range of vantage points from surrounding sites and public domain due to improvements to the visual appearance of the existing ELP, additional greenery, building articulation and public art.
- The façade will most typically be viewed from a distance and at acute angles on a relatively narrow street (Cross Street).
- The additional landscaping introduced along the streetwall, introduction of public art on the Cross Street façade, contemporary mix of materials and column articulation will help break down the perception of bulk and scale and enhance the visual appearance of the ELP when viewed from the public domain and adjoining properties.

ADDITIONAL SHADOW






A series of shadow diagrams has been prepared by Scentre Group to illustrate the shadow impacts between 9am and 3pm at Winter Solstice (21st June). The diagrams compare with the existing built form shadow to show the additional impacts of the proposed development.

The shadow cast by the proposed development is entirely contained within the existing building. The majority of this falls over carparking areas, directly adjoining the ELP. Some additional shadows fall across spaces within the ELP and community green space on proposed level 5.

KEY INSIGHTS

- NO additional shadow impact to surrounding neighbourhoods or the public domain. All shadow is confined to within the boundaries of the site.

LEGEND

-  Westfield Hurstville site boundary
-  Extent of Existing ELP
-  Extent of Proposed ELP - Note is different over different levels
-  Existing shadow cast by surrounding context
-  Additional shadow cast by proposed DA

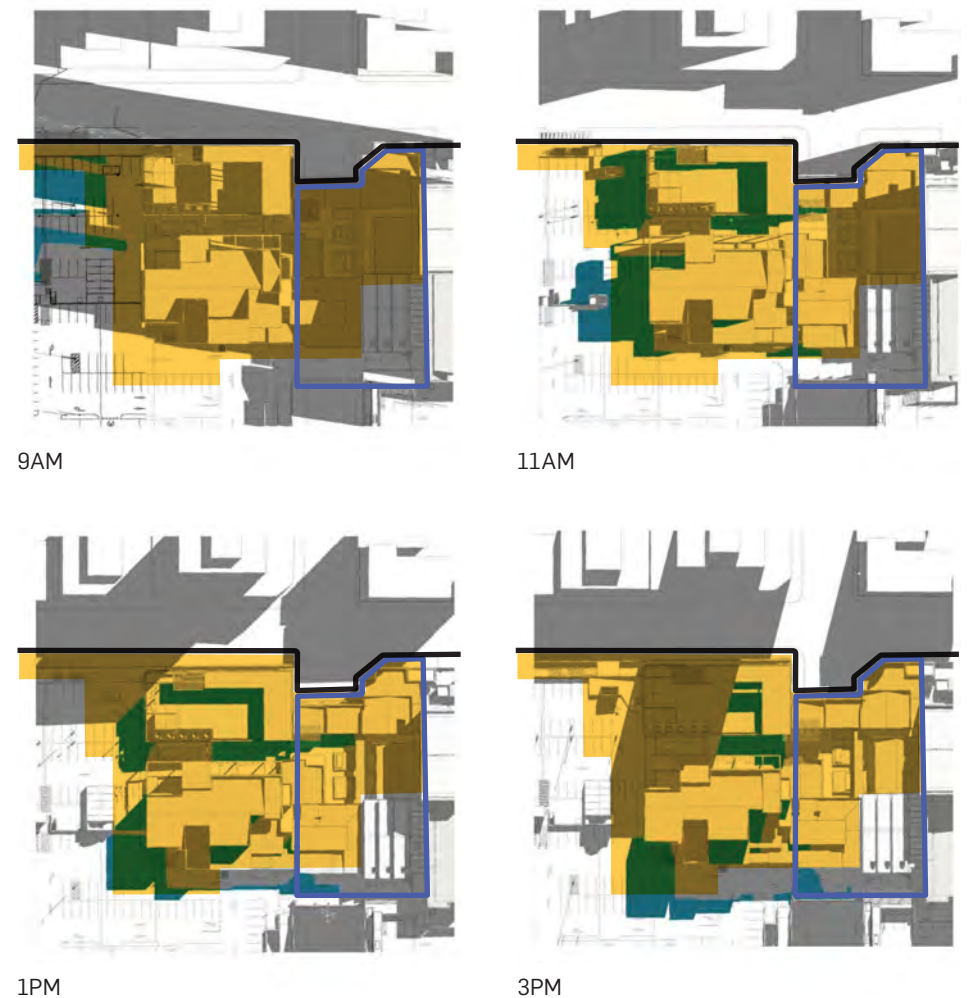


Figure 29 Shadow Analysis



CONCLUSION

The proposed extent of the development is limited to the zone of influence of the proposed changes - noting the inherent layout of the shopping centre and its parking, servicing and fire exit strategy remain unchanged for such a small scale proposal.

The Urban Design Study illustrates the proposed development is in keeping with the surrounding existing and emerging context and improves this in relation to the extent of the proposal. This is demonstrated through:

- **Wayfinding & Pedestrian Connectivity:** Two new access points are provided to the ELP from the public domain as follows:
 - Via the existing pedestrian link along the northern boundary of the site, adjoining the childcare centre.
 - Via a new lift lobby on Park Road, providing customers of the ELP (particularly those who a mobility impaired) to travel directly to Level 4 and Level 5 from street level.
- **Building Massing & Height:** The DA is proposing the following minor changes to building height:
 - Park Road restaurant (R03) at 26.79m / RL82.43;
 - community green space at 27.96m / RL83.7,
 - Pergola atop green space at 29.64m / RL86.43,
 - Anchor tenant (R05) at 31.27m / RL87.27, and
 - Lift core at 30.71m / RL86.45.

The proposed building height remains below the RL street wall datum height along Cross Street and is in keeping with the existing and emerging context.
- **Streetscape Analysis:** The proposal improves the existing streetscape of the building through the following initiatives:
 - The overall massing of the ELP is conceived as a series of articulated boxes with horizontal and vertical elements adding texture to the façade, and reducing the sense of horizontality in the building.
 - Introducing the element of light through the central glass stair helps break down bulk and scale, and at night will glow from internal illumination and providing façade activation.
 - Public art installations along blank facades at ground level in the areas where people will interact the most.
 - Landscaping introduced into the existing rooftop and walkway, significantly increasing the “greening” of the façade.
- **Materials & Finishes :**
 - The materiality strategy seeks to introduce a suite of new materials that contrast with the existing pre-cast facade to highlight the ELP upgrade as the first stage of a multi-stage development of the centre.
- **Visual Change:** Enhancement of the existing streetscape presentation through greening, materiality and improved legibility.
- **Additional Shadow:** All shadows from the proposal are contained within the existing building.

